

ZONING PERMIT APPLICATION
Instructions for Completion

In the Borough of Denver, no person shall erect, alter, or convert any structure or building, nor alter the use of any land or structure, until the Zoning Officer issues a Zoning Permit to the person for said change or construction. If any additional impervious surface is being created than you will also need to complete a Stormwater Management Application (one of the following: Exemption Application, Small Project Application, Minor Project Application, or Major Project Application).

The Zoning Permit is a document signed by the Borough of Denver Zoning Officer, that acknowledges such use or building complies with the provisions of the ordinance. A Construction Code Permit is still required prior to beginning construction as determined by the Borough of Denver.

All applications for a Zoning Permit shall include a plot plan showing the location and dimensions of the lot area and the proposed uses of buildings and/or land. The Zoning Officer or the Zoning Hearing Board may require additional information deemed necessary to properly evaluate the application for the purpose of determining its conformity with the Borough's Zoning Ordinance.

Further approvals may be necessary from the Denver Borough Planning Commission, the Denver Borough Engineer, or the Zoning Hearing Board. You will be notified if you must meet with either the Planning Commission, the Borough Engineer, or the Zoning Hearing Board and will be provided with the appropriate application form and directions with your notification letter from the Zoning Officer. If additional approvals are required, a Zoning Permit can not be issued until all conditions of that approval are met.

The Zoning Officer shall issue or refuse an application for a Zoning Permit within fifteen (15) business days after the date such application was made, except as specifically provided for in the Borough's Zoning Ordinance. **Please note, all Zoning Permit fees shall be paid when the Zoning Permit is submitted.** A copy of the Zoning Permit shall be kept conspicuously on the premises. No person shall perform building operations of any kind unless a Zoning Permit is being displayed as required by this Chapter.

After the issuance of a Zoning Permit by the Zoning Officer, no changes of any kind shall be made to the application, permit, plans, specifications, or other documents submitted with the application without the written consent or approval of the Zoning Officer.

Line by Line Instructions for Completion of the Zoning Permit Application

1. Enter the name of the company or individual applying for the Zoning Permit. Include the phone number during business hours.
2. Enter the mailing address of the company or individual applying for the Zoning Permit. Include Zip Code.
3. Enter the name of the individual responsible for obtaining the Zoning Permit who has knowledge of the application. This will be the only person contacted by the Borough.
4. Enter the address and daytime phone number of the contact person shown on line 3.
5. Enter the street address of the property for which this Zoning Permit is requested. If appropriate, include unit number and/or floor number.

6. For new homes, enter the correct Tax Parcel ID # for the property listed on line 5.
7. Enter the name or names of the property owner on the official Lancaster County Tax Parcel listing.
8. Enter whether existing and proposed utilities are public or private. Be sure to include both water and sewer.
9. Enter the name of the current occupant or tenant if the property is non-residential. If the building is presently vacant, enter the name of the last known occupant or tenant. If the land is vacant, indicate "unimproved."
10. Enter the current use of the property. Please indicate all uses that currently apply.
11. Enter the proposed use of the property. Please indicate all uses that are proposed.
12. Enter the type of Zoning Permit requested. If (L), include the name of the new tenant/occupant and the area in square feet to be utilized on the "Detailed description" line below. If (M), indicate whether you are seeking certification of a pre-existing non-conforming use. It is your responsibility to submit evidence of continuous nonconforming use.

**BOROUGH OF DENVER
ZONING PERMIT APPLICATION**

() RESIDENTIAL () COMMERCIAL () INDUSTRIAL () OTHER

1. Applicant: _____ Phone Number: _____

2. Applicant Mailing Address: _____

3. Contact Person: _____ Phone Number: _____

4. Contact Person's Address: _____

5. Work Site Street Address: _____ Unit # _____ Floor # _____

6. Tax Parcel ID #: _____ 7. Property Owner of record: _____

8. Utilities: Existing - Public: Water _____ Sewer _____ Proposed - Public: Water _____ Sewer _____
- Private: Well _____ Septic _____

9. Current or Last Occupant: _____

10. Current or Last Use of Property (Check all that apply):

A) Single Family _____ B) Two-Family _____ C) Multi-Family _____ D) Townhouse/Condo _____
E) Office _____ F) Industrial _____ G) Commercial _____ H) Unimproved Land _____
I) Other _____ Description: _____

11. Proposed Use of Property (Check all that apply):

Note that even if the proposed use is only a change in use, e.g. a bookstore to a restaurant, a Zoning Permit application is still required to be submitted.

A) Single Family _____ B) Two-Family _____ C) Multi-Family _____ D) Townhouse/Condo _____
E) Office _____ F) Industrial _____ G) Commercial _____ H) Unimproved Land _____
I) Other _____ J) No Change _____
Description: _____

12. Type of Zoning Permit Requested:

A) Demolition-Interior _____ B) Demolition-Structure _____ C) Alteration _____ D) Addition _____
E) Fence _____ F) Deck _____ G) Pool _____ H) Signs _____
I) Accessory Building (detached garage, shed, etc.) _____ J) Home Occupation _____
K) New Building _____ L) Change of Tenant/Occupant _____
M) Certification of Use _____

Detailed description of proposed work or use: _____

Applicant Signature: _____ Date: _____

Borough of Denver
Lancaster County, PA

Application # _____

**ZONING PERMIT APPLICATION
Checklist of Required Submission Items**

Date Received

- _____ Zoning Permit Application - completely filled out. _____
- _____ 2 Copies of Proposed Plot Plan - proposed construction drawn to scale showing the following: setback lines; location and dimensions of new structure; measurements from existing structures; front, rear, and side yard setbacks; and the location and size of public water and/or sewer lines from street to structure. _____
- _____ 2 Copies of Conceptual Construction Plans - proposed construction showing: dimensioned floor plans of all existing and proposed floors and building footprint; dimensioned elevations of all existing and proposed front, side and rear elevations (if required by the Zoning Officer. For multi-tenant/multi-floor buildings, consult with the Zoning Officer for required construction detail for any space or floors not yet leased or unoccupied. _____
- _____ If this project has been approved by the Denver Borough Zoning Hearing Board, attach a copy of the Zoning Hearing Board's Decision and Findings of Fact indicating that all conditions of the Decision and Findings of Fact have been met. _____

I certify that I am the owner of the above listed property or that the owner has authorized this application and that the above information is correct. I understand that if any of the above statements are willfully false, I am subject to punishment.

Owner/Applicant Signature: _____

Date: _____

**ZONING PERMIT
BOROUGH OF DENVER**

Tax Parcel ID #: _____ Street Address: _____

Owner of Record: _____ Phone Number: _____

This is to certify that the above premises, together with any building(s) or structures thereon, is used or proposed to be used as or for _____ which is a:

_____ Use permitted by Ordinance.

_____ Use permitted by variance/special exception, Docket # _____ approved on subject to any conditions attached to that approval.

_____ Valid non-conforming use as established by the Zoning Hearing Board, Docket # _____ approved on _____ subject to any conditions attached to that approval.

_____ Valid non-conforming use as determined by the Zoning Officer on the basis of evidence supplied by the applicant on Zoning Application # _____ submitted on _____.

This permit is **conditional** if this box _____ is checked. Evidence of review of this application by the Borough checked on the attached sheet must be subsequently submitted in order for this Zoning Permit to be valid and to obtain a Construction Code Permit. Please note that the Zoning Officer may require additional approvals or information after reviewing the construction permit application. Two (2) copies of the plans accompanying this Zoning Permit application will be stamped as approved and returned to the applicant.

Zoning Officer: _____ Date: _____

Zoning Permit #: _____

THIS IS NOT A CONSTRUCTION CODE PERMIT

Prior to beginning any construction, a construction permit must be obtained as determined by the Construction Official.

THIS ZONING PERMIT IS VALID ONLY FOR THE PURPOSES AND CIRCUMSTANCES STATED IN THE APPLICATION KNOWN AS # _____.

THIS PERMIT EXPIRES WHENEVER ANY OF THE FOLLOWING OCCUR:

- * APPROVALS UPON WHICH THIS PERMIT WAS ISSUED EXPIRE; OR
- * THE CONSTRUCTION CODE PERMIT ISSUED ON THE BASIS OF THE ZONING PERMIT EXPIRES, OR
- * 2 YEARS FROM THE DATE OF ISSUANCE OF THIS ZONING PERMIT.

SPECIAL NOTE!!!

A representative from the Lancaster County Property Assessment Office will be following-up with a visit to this property. This visit will be separate from any inspections performed by the municipality and will be performed by a Property Assessment Office representative. This inspection will occur months to a year after the permit is issued.

Questions regarding this inspection should be directed to the Lancaster County Assessment Office at 717-299-8381.

What is Storm Water?

Storm water is water from precipitation that flows across the ground and pavement when it rains or when snow and ice melt. The water seeps into the ground or drains into what we call storm sewers. These are the drains you see at street corners or at low points on the sides of streets. Collectively, the draining water is called storm water runoff.

Why is Storm Water 'Good Rain Gone Wrong'?

Storm water becomes a problem when it picks up debris, chemicals, dirt, and other pollutants as it flows or when it causes flooding and erosion of stream banks. Storm water travels through a system of pipes and roadside ditches that make up storm sewer systems. It eventually flows directly to a lake, river, stream, wetland, or coastal water. All of the pollutants storm water carries along the way empty into our waters, too, because storm water does not get treated!



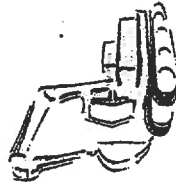
Put wastes left on the ground get carried away by storm water, contributing to polluted streams, rivers and lakes, and other water resources.



Vehicles drip fluids (oil, grease, gasoline, antifreeze, brake fluid, etc.) onto paved areas where storm water runoff carries them through storm sewers and into our water.



Chemicals used to grow and maintain beautiful lawns and gardens, if not used properly, can run off into the storm sewer system where they can harm fish and other water our lawns and gardens.



When new chemicals used in construction can wash into the storm sewer system when it rains. Soil that erodes from construction sites can wash into the storm sewer system, harming fish and other water resources. Storm water can also carry trash and other debris into our water.

Where To Go To Continue The Information Flow

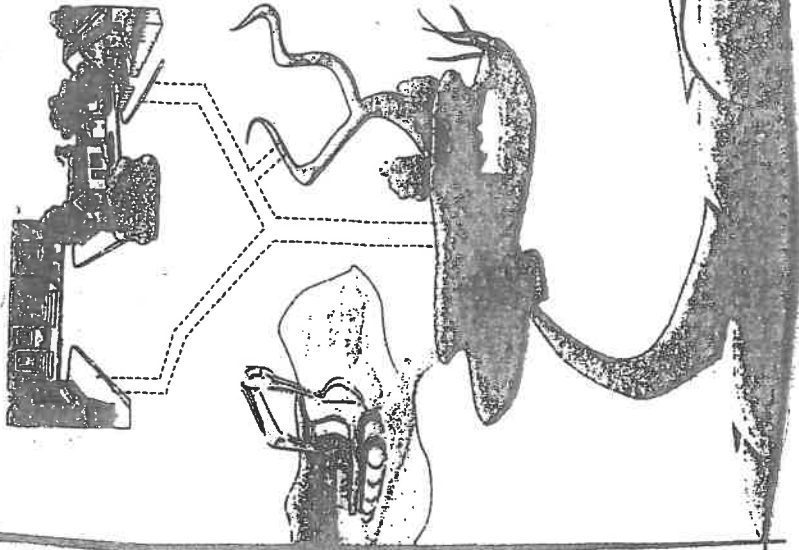
Your community is preventing storm water pollution through a storm water management program. This program addresses storm water pollution from construction, new development, illegal dumping to the storm sewer system, and pollution prevention and good housekeeping practices in municipal operations. It will also continue to educate the community and get everyone involved in making sure the only thing that storm water contributes to our water is ... water! Contact your community's storm water management program coordinator or the Pennsylvania Department of Environmental Protection for more information about storm water management.



Pennsylvania Department of Environmental Protection
www.dep.state.pa.us

When It Rains, It Drains

Understanding Storm Water and How It Can Affect Your Money, Safety, Health, and the Environment



Answers to Test Your Storm Sewer System Savvy:

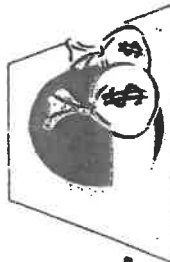
1. Ditch - Part of the storm sewer system, from people think that this system is just a series of underground streams. It can also include ditches used to convey storm water from the land to a receiving lake, river or stream.
2. Fire Hydrant - Not part of the storm sewer system. Water sprayed from fire hydrants is not storm water, but is allowed by law to enter the storm sewer system.
3. Catch with Storm Drain Inlet - Part of the storm sewer system, many people do not realize that the inlet is an opening leading to the storm sewer system. Anything going into this inlet (e.g., trash, leaves, improperly disposed of hazardous material) travel directly to the storm sewer system. They can be treated at a treatment plant. They can also be treated at a treatment plant. They can also be treated at a treatment plant.
4. Storm Sewer Outlet - Part of the storm sewer system. An outlet is where storm water drains from the storm sewer system into a receiving lake, stream, or river. If there is a flow from an outlet when it first rains, there could be a problem with the system or someone has used a storm drain for illegally disposing of material.
5. Sinks - Not part of the storm sewer system. Water from sinks and toilets in houses and businesses travel through a sewer system connected to carry sanitary wastes. In some cases, other communities may have a combined sewer system designed to carry both storm water and sanitary wastes.
6. Septic System - Not part of the storm sewer system. Homeowners use septic tanks to manage sanitary wastes on-site. Improperly installed septic systems can leak and contribute pollutants to the storm sewer system, as well as directly to lakes, rivers and streams.
7. Roads and Other Paved Areas - Not part of the storm sewer system. Roads and other hardened surfaces such as parking lots and sidewalks can accumulate pollutants (e.g., oil, grease, dirt, leaves, trash, pet waste) that storm water eventually carries into the storm sewer system.
8. Storm Drain Inlet - Part of the storm sewer system. This is another example of what a storm drain is. It is the opening that allows storm water to enter the storm sewer system. It is important to recognize this as a storm drain to prevent it from being used as a trash can.

What Happens When It Rains?

Rain is an important part of nature's water cycle, but there are times it can do more damage than good. Problems related to storm water runoff can include:



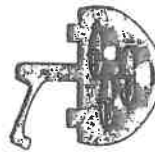
Flooding caused by too much storm water flowing over hardened surfaces such as roads and parking lots. Instead of soaking into the ground.



Increases in spending on maintaining storm drains and the storm sewer system that become clogged with excessive amounts of dirt and debris.



Decreases in sportfish populations because storm water carries sediment and pollutants that degrade important fish habitat.



More expensive treatment technologies to remove harmful pollutants carried by storm water into our drinking water supplies.



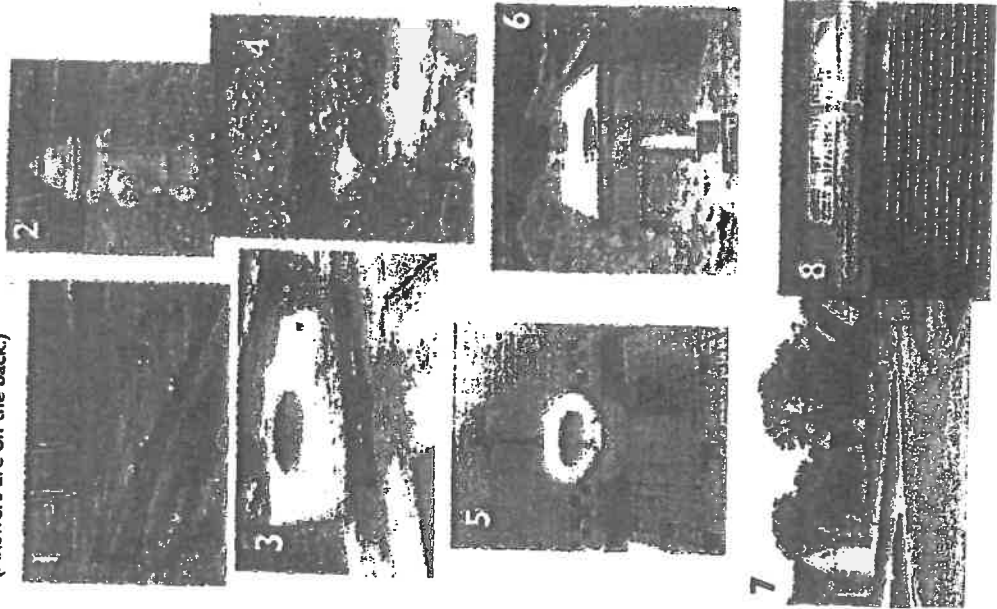
Closed beaches due to high levels of bacteria carried by storm water that make swimming unsafe.



We can help rain restore its good reputation while protecting our health and environment while saving money for ourselves and our community. Keep reading to find out how...

Test Your Storm Sewer System Savvy!

What does the storm sewer system look like in your community? See if you can identify which pictures are part of the storm sewer system. (Answers are on the back.)



Restoring Rain's Reputation: What Everyone Can Do To Help

Rain by nature is important for replenishing drinking water supplies, recreation, and healthy wildlife habitats. It only becomes a problem when pollutants from our activities like car maintenance, lawn care, and dog walking are left on the ground for rain to wash away. Here are some of the most important ways to prevent storm water pollution:

Properly dispose of hazardous substances such as used oil, cleaning supplies and paint—never pour them down any part of the storm sewer system and report anyone who does.

Use pesticides, fertilizers, and herbicides properly and efficiently to prevent excess runoff.

Look for signs of soil and other pollutants, such as debris and chemicals, leaving construction sites in storm water runoff or tracked into roads by construction vehicles. Report poorly managed construction sites that could impact storm water runoff to your community. (See the back of this brochure for contact information.)

Install innovative storm water practices on residential property, such as rain barrels or rain gardens, that capture storm water and keep it on site instead of letting it drain away into the storm sewer system.

Report any discharges from storm water outfalls during times of dry weather—a sign that there could be a problem with the storm sewer system.

Pick up after pets and dispose of their waste properly. No matter where pets make a mess—in a backyard or at the park—storm water runoff can carry pet waste from the land to the storm sewer system to a stream.

Store materials that could pollute storm water indoors and use containers for outdoor storage that do not rust or leak to eliminate exposure of materials to storm water.